

# ATTACHMENT A

## ATTACHMENT A

### SELECTED DRAWINGS

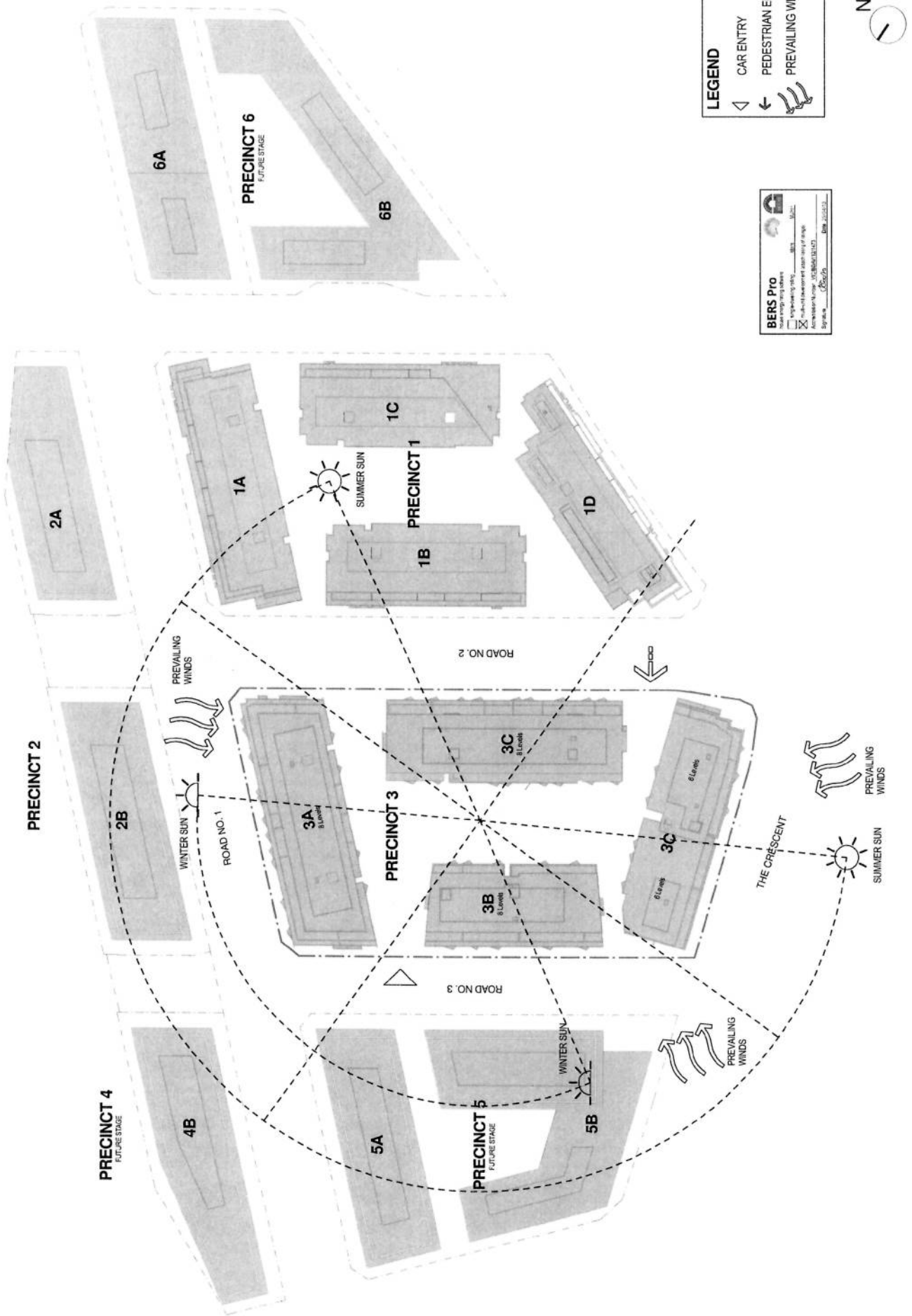
**74 ROSS STREET FOREST LODGE  
STAGE 2 - PRECINCT 3**







# ATTACHMENT A



**LEGEND**

- CAR ENTRY
- PEDESTRIAN ENTRY
- PREVAILING WINDS



**BERS PRO**  
 10000 100th Ave SE, Suite 100  
 Bellevue, WA 98004  
 Tel: 206.469.1000  
 Fax: 206.469.1001  
 Email: info@berspro.com  
 Website: www.berspro.com

Scale: 1" = 100'  
 Date: Feb 2013  
 Job No: 1753  
 Drawing No: DA-P3-002  
 Rev: 1

**Site Analysis Plan  
 Precinct 3**

**Eeles Trellease** per the authorities

**Mirvac Design**  
 10000 100th Ave SE, Suite 100  
 Bellevue, WA 98004  
 Tel: 206.469.1000  
 Fax: 206.469.1001  
 Email: info@mirvac.com  
 Website: www.mirvac.com

**mirvac**

**Harold Park Precinct 3**  
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 Fax: 206.469.1001  
 Email: info@mirvac.com  
 Website: www.mirvac.com

**NOTES:**

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DATE: 10/12/13  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT: Harold Park Precinct 3

# ATTACHMENT A



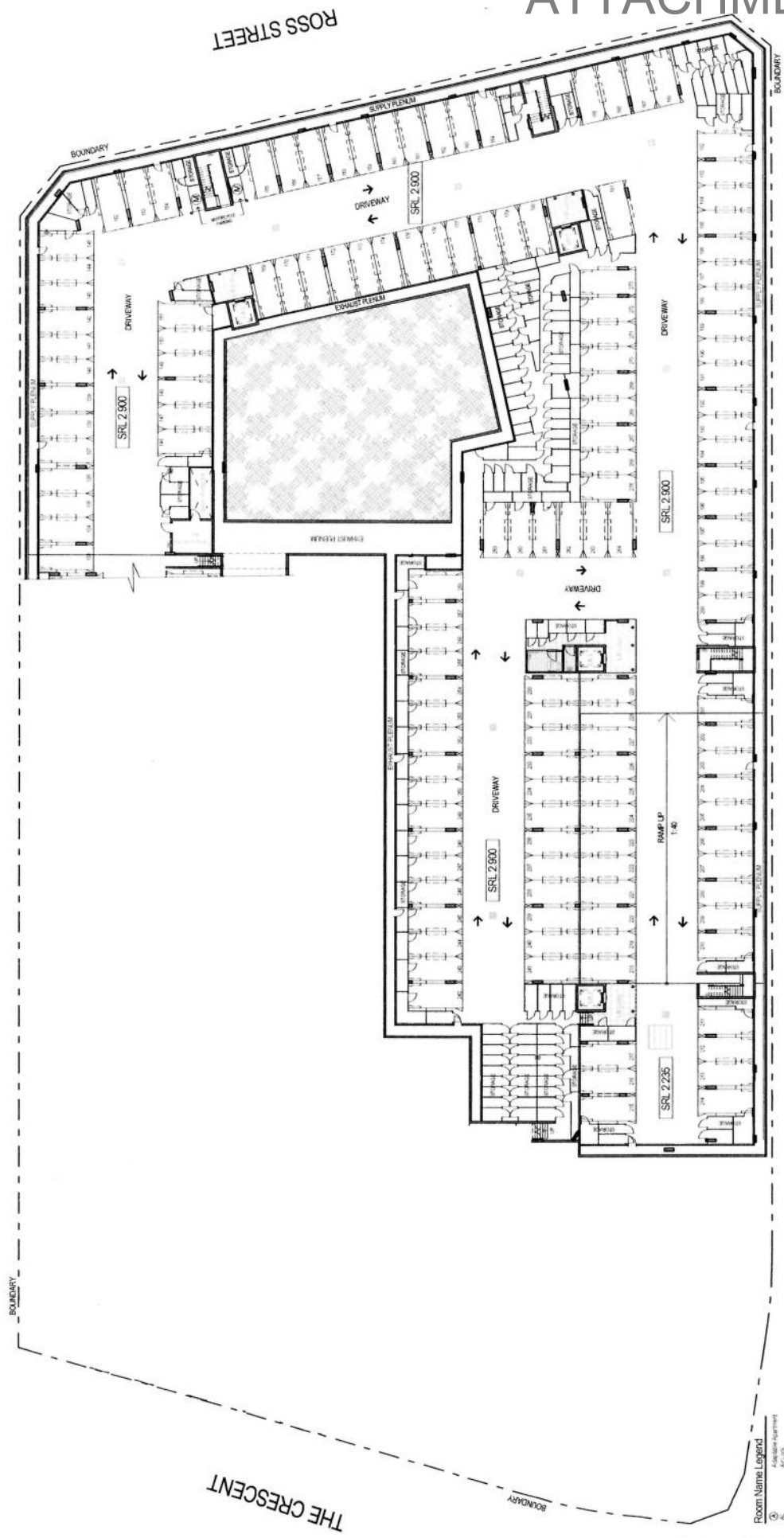
Scale: 1:100  
 Date: 04.11.13  
 Job no: 1753  
 Drawing no: DA-P3-003  
 Scale: A1  
 Author: A.I.  
 Rev: 2

Project: Harold Park Precinct 3  
 Site: 156  
 Client: Eeles Teleseco  
 Design: Mirvac Design  
 Floor Plan - Basement 02

Project: Harold Park Precinct 3  
 Site: 156  
 Client: Eeles Teleseco  
 Design: Mirvac Design  
 Floor Plan - Basement 02

Project: Harold Park Precinct 3  
 Site: 156  
 Client: Eeles Teleseco  
 Design: Mirvac Design  
 Floor Plan - Basement 02

Project: Harold Park Precinct 3  
 Site: 156  
 Client: Eeles Teleseco  
 Design: Mirvac Design  
 Floor Plan - Basement 02



**Room Name Legend**

1	Accession Department
2	Archives
3	Bank
4	Bedroom 1
5	Bedroom 2
6	Bedroom 3
7	Bedroom 4
8	Bedroom 5
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493	Bedroom 490









# ATTACHMENT A



Ross Street

Cullen Close

Scotsman Street

The Crescent

Building 3B

Building 3D

Building 3A

**NOTES:**

1. GENERAL NOTES
2. ROOM SCHEDULE
3. FINISHES
4. MATERIALS
5. ELECTRICAL
6. MECHANICAL
7. PLUMBING
8. SANITARY
9. GLAZING
10. ROOFING
11. EXTERIOR WALLS
12. INTERIOR WALLS
13. FLOORS
14. CEILING
15. LIGHTING
16. FURNITURE
17. EQUIPMENT
18. SIGNAGE
19. SECURITY
20. ACCESSIBILITY
21. SUSTAINABILITY
22. OTHER

project: **Harold Park Precinct 3**  
 client: **Garbo NSW**  
 architect: **Mirvac Design**  
 engineer: **Eames Treloar**  
 job no: 1753    date: 04/11/13    sheet: A1    no. of sheets: 2  
 drawing no: DA-P3-007    rev: 2

# ATTACHMENT A



Building 3A  
ROSS STREET

Building 3B  
CULLEN CLOSE

Building 3C  
SCOTSMAN STREET

Building 3D  
THE CRESCENT

**NOTES:**

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
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5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

Scale: 1:200  
Date: 11.13  
Job No: 1753  
Rev: 2  
Drawing No: DA-P3-008

Project: Harold Park Precinct 3  
Client: CHS, NSW  
Architect: Mirvac Design  
Floor Plan - Level 4

Notes: Easement Release

Architect: Mirvac Design  
100 Pitt Street  
Sydney NSW 2000  
Tel: +61 2 9250 1000  
Fax: +61 2 9250 1001



Project: Harold Park Precinct 3  
Client: CHS, NSW  
Architect: Mirvac Design

# ATTACHMENT A



Building 3B  
CULLEN CLOSE

Building 3C  
SCOTSMAN STREET

Building 3D  
THE CRESCENT

**NOTES:**

1. REFER TO THE PROJECT SPECIFICATIONS FOR ALL DIMENSIONS AND TOLERANCES.
2. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
3. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL FINISHES AND MATERIALS.
4. REFER TO THE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS.
5. REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL REQUIREMENTS.
6. REFER TO THE PLUMBING AND SANITARY DRAWINGS FOR ALL PLUMBING AND SANITARY REQUIREMENTS.
7. REFER TO THE LANDSCAPE ARCHITECTURE DRAWINGS FOR ALL LANDSCAPE ARCHITECTURE REQUIREMENTS.
8. REFER TO THE CIVIL ENGINEERING DRAWINGS FOR ALL CIVIL ENGINEERING REQUIREMENTS.
9. REFER TO THE ENVIRONMENTAL ENGINEERING DRAWINGS FOR ALL ENVIRONMENTAL ENGINEERING REQUIREMENTS.
10. REFER TO THE SAFETY AND SECURITY DRAWINGS FOR ALL SAFETY AND SECURITY REQUIREMENTS.
11. REFER TO THE ACCESSIBILITY DRAWINGS FOR ALL ACCESSIBILITY REQUIREMENTS.
12. REFER TO THE ENERGY EFFICIENCY DRAWINGS FOR ALL ENERGY EFFICIENCY REQUIREMENTS.
13. REFER TO THE SUSTAINABILITY DRAWINGS FOR ALL SUSTAINABILITY REQUIREMENTS.
14. REFER TO THE HISTORIC PRESERVATION DRAWINGS FOR ALL HISTORIC PRESERVATION REQUIREMENTS.
15. REFER TO THE ARCHITECTURAL RECORD DRAWINGS FOR ALL ARCHITECTURAL RECORD REQUIREMENTS.

DATE: 04/11/13  
 JOB NO: 1753  
 DATE: 04/11/13  
 SCALE: @ A1: 1:200  
 DRAWING NO: DA-P3-009  
 REV: 2

PROJECT: Harold Park Precinct 3  
 CLIENT: Gebe, NSW

ARCHITECT: Mirvac  
 ARCHITECT NO: 1753  
 ARCHITECT NAME: Mirvac  
 ARCHITECT ADDRESS: 1753  
 ARCHITECT PHONE: 1753  
 ARCHITECT FAX: 1753  
 ARCHITECT EMAIL: 1753

ENGINEER: Eeles Troleaso  
 ENGINEER NO: 1753  
 ENGINEER NAME: Eeles Troleaso  
 ENGINEER ADDRESS: 1753  
 ENGINEER PHONE: 1753  
 ENGINEER FAX: 1753  
 ENGINEER EMAIL: 1753

PROJECT: Harold Park Precinct 3  
 CLIENT: Gebe, NSW

ARCHITECT: Mirvac  
 ARCHITECT NO: 1753  
 ARCHITECT NAME: Mirvac  
 ARCHITECT ADDRESS: 1753  
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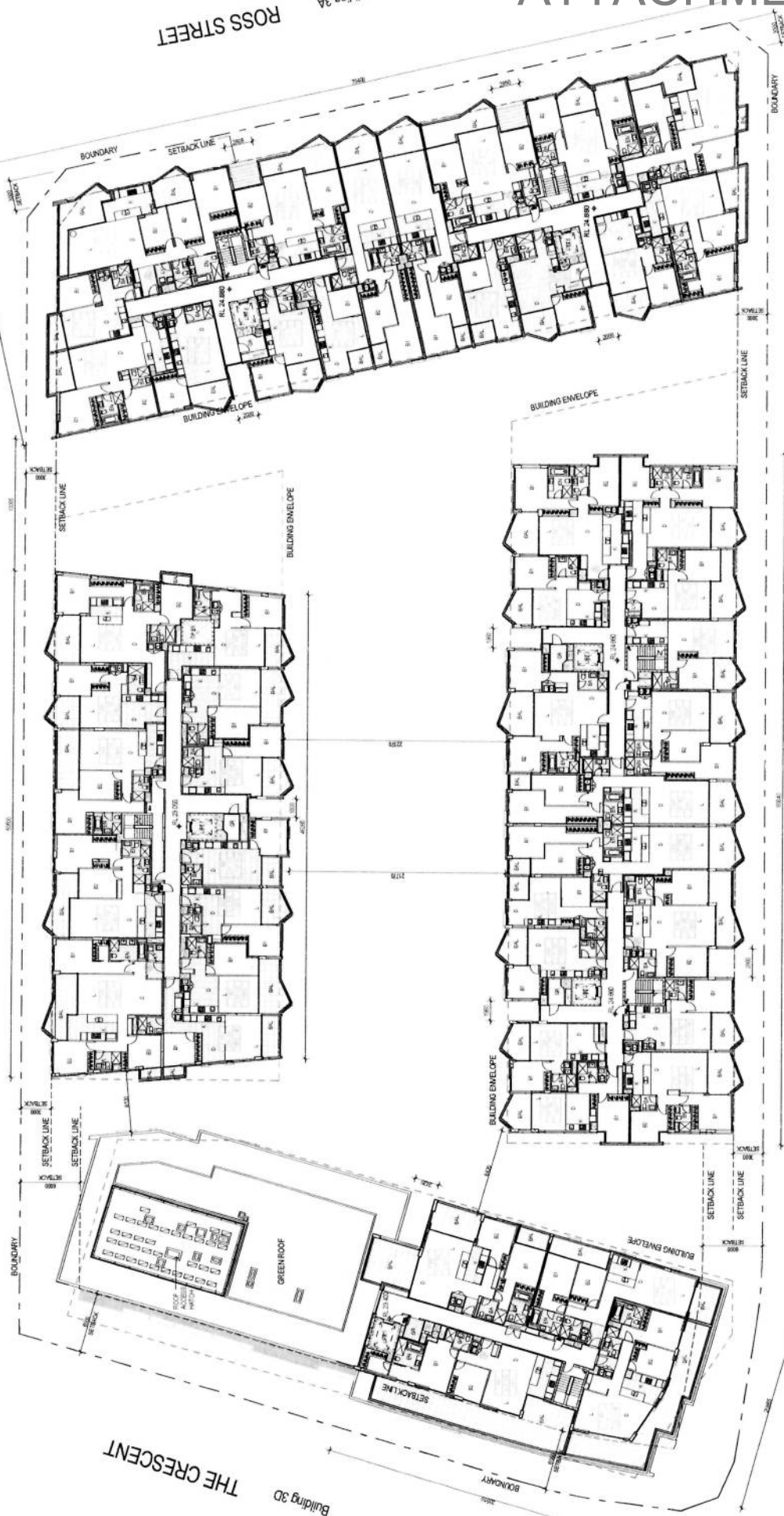
PROJECT: Harold Park Precinct 3  
 CLIENT: Gebe, NSW

# ATTACHMENT A



Building 3B CULLEN CLOSE

Building 3A ROSS STREET



THE CRESCENT

Building 3D

Building 3C SCOTSMAN STREET

**NOTES:**

1. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INFORMATION.
2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS.
4. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS.
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10. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS.

project: **Harold Park Precinct 3**  
 client: **GRINK NSW**  
 architect: **Mirvac Design**  
 Mirvac Design  
 15/155 Pitt Street  
 Sydney NSW 2000  
 Tel: +61 2 9233 3333  
 Fax: +61 2 9233 3334  
 Email: info@mirvac.com.au  
 website: www.mirvac.com.au

Ecolos Troleasse  
 15/155 Pitt Street  
 Sydney NSW 2000  
 Tel: +61 2 9233 3333  
 Fax: +61 2 9233 3334  
 Email: info@ecolostroleasse.com.au

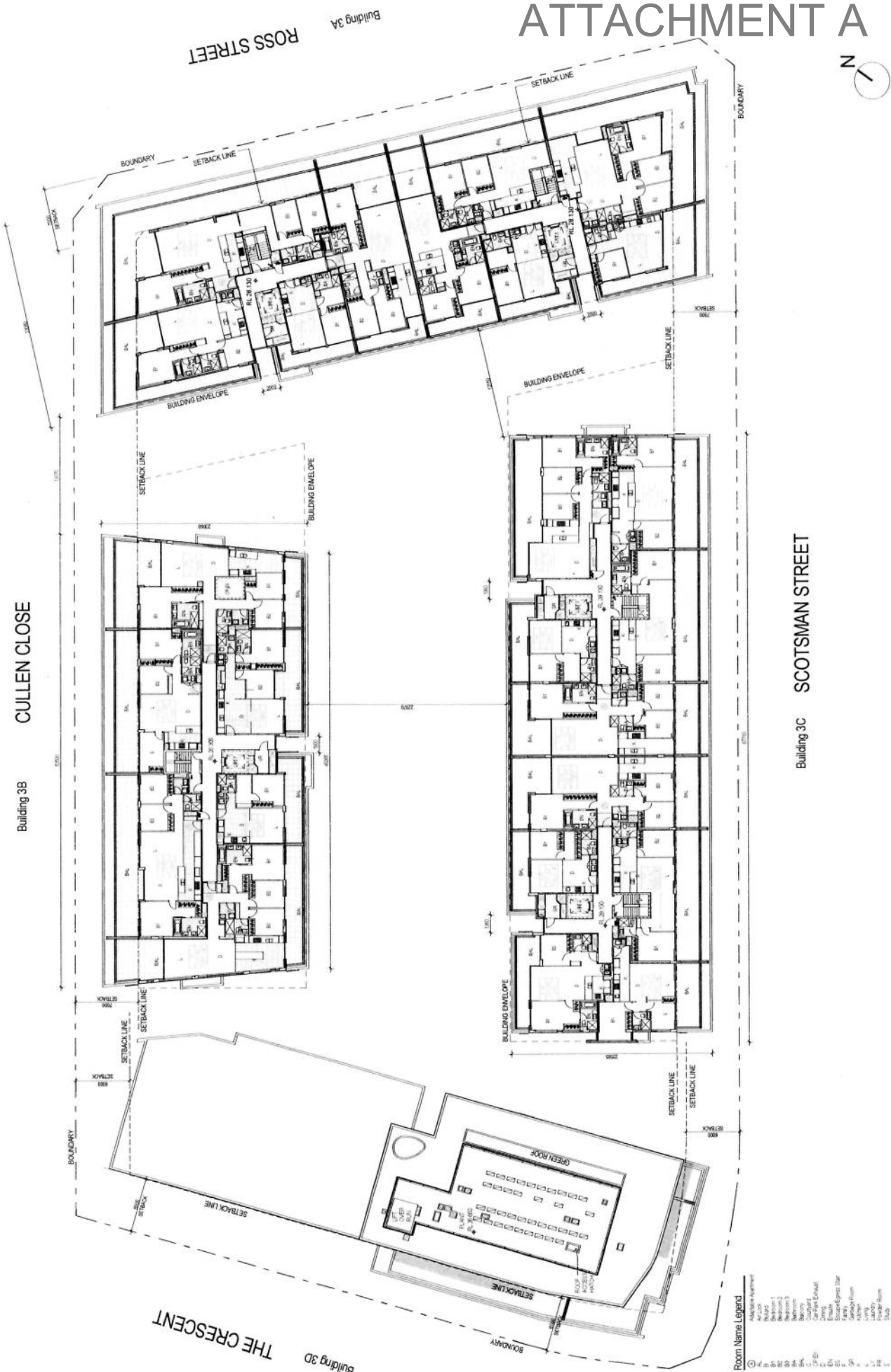
scale @ A1: 1:200  
 date: 04.11.13  
 drawing no: DA-P3-010  
 rev: 2

project: **Floor Plan - Level 6**

# ATTACHMENT A



Job no: 1753 Date: 04.11.13  
 Scale: @A1 As indicated  
 Drawing no: DA-P3-011 Rev: Z



Building 3B CULLEN CLOSE

Building 3C SCOTSMAN STREET

Building 3D THE CRESCENT

**NOTES: DA**

1. REFER TO THE RELEVANT DA FOR THE FULL LIST OF ROOMS AND AREAS.
2. THE ROOMS AND AREAS SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL COUNCIL AND THE NSW GOVERNMENT.
3. THE ROOMS AND AREAS SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL COUNCIL AND THE NSW GOVERNMENT.
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10. THE ROOMS AND AREAS SHOWN ON THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE LOCAL COUNCIL AND THE NSW GOVERNMENT.

**Room Name Legend**

AG	Aggregates Approval
A	Alto
B	Bedroom
B1	Bedroom 1
B2	Bedroom 2
B3	Bedroom 3
B4	Bedroom 4
B5	Bedroom 5
C	Carport
C1	Carport 1
C2	Carport 2
E	Entrance
E1	Entrance 1
E2	Entrance 2
G	Garage
G1	Garage 1
G2	Garage 2
L	Lobby
L1	Lobby 1
L2	Lobby 2
L3	Lobby 3
L4	Lobby 4
L5	Lobby 5
L6	Lobby 6
L7	Lobby 7
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L95	Lobby 95
L96	Lobby 96
L97	Lobby 97
L98	Lobby 98
L99	Lobby 99
L100	Lobby 100

**project:** Harold Park Precinct 3  
 Greater NSW

**client:** Mirvac

**architect:** Mirvac Design

**MEP:** Eeles Trelease

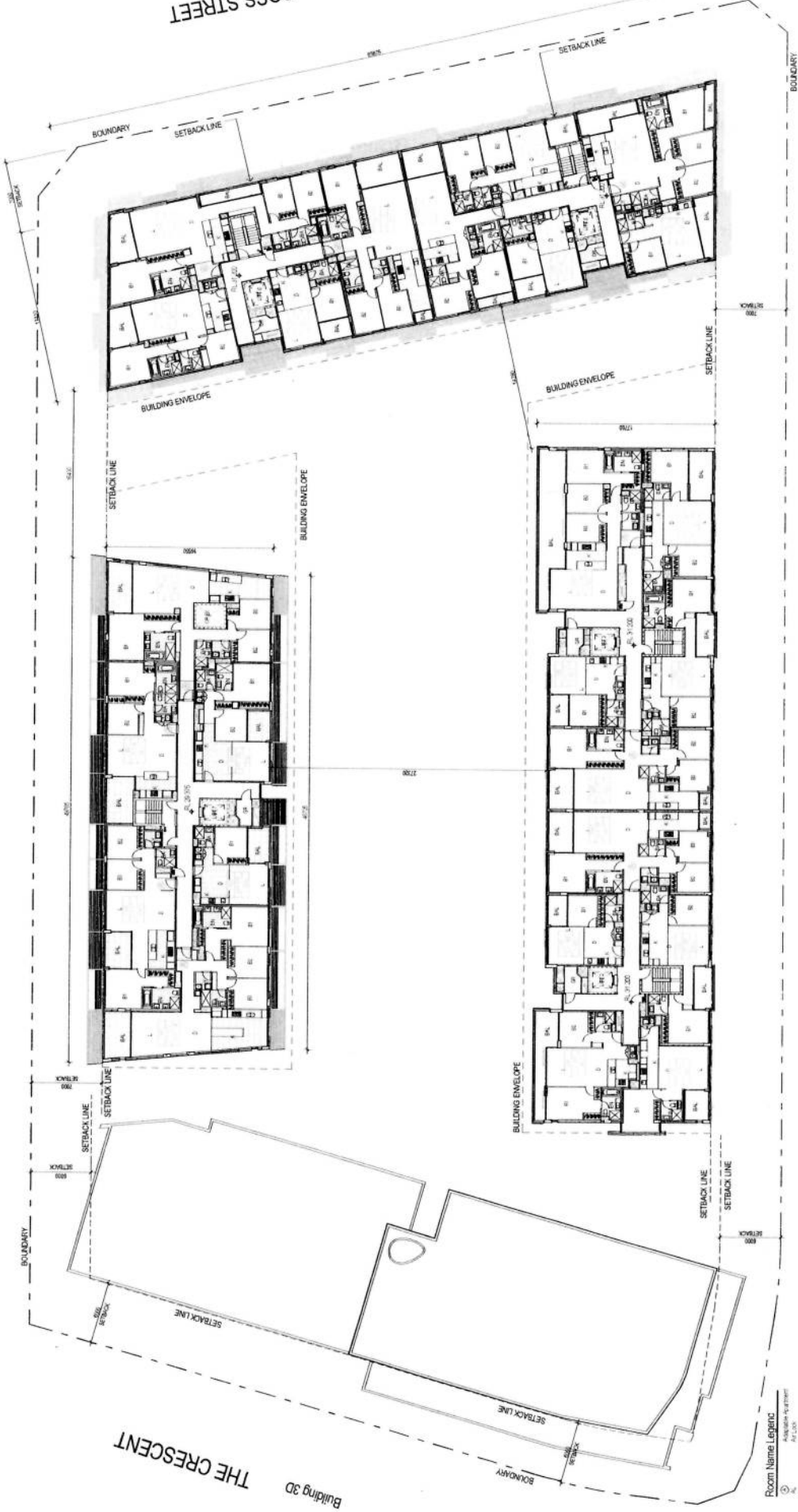
**Floor Plan - Level 7**

# ATTACHMENT A

DATE: 04/11/13  
 JOB NO: 1753  
 DRAWING NO: DA-P3-012  
 SCALE @ A1: As Issued  
 REV: 2



Building 3B  
 Building 3C  
 CULLEN CLOSE



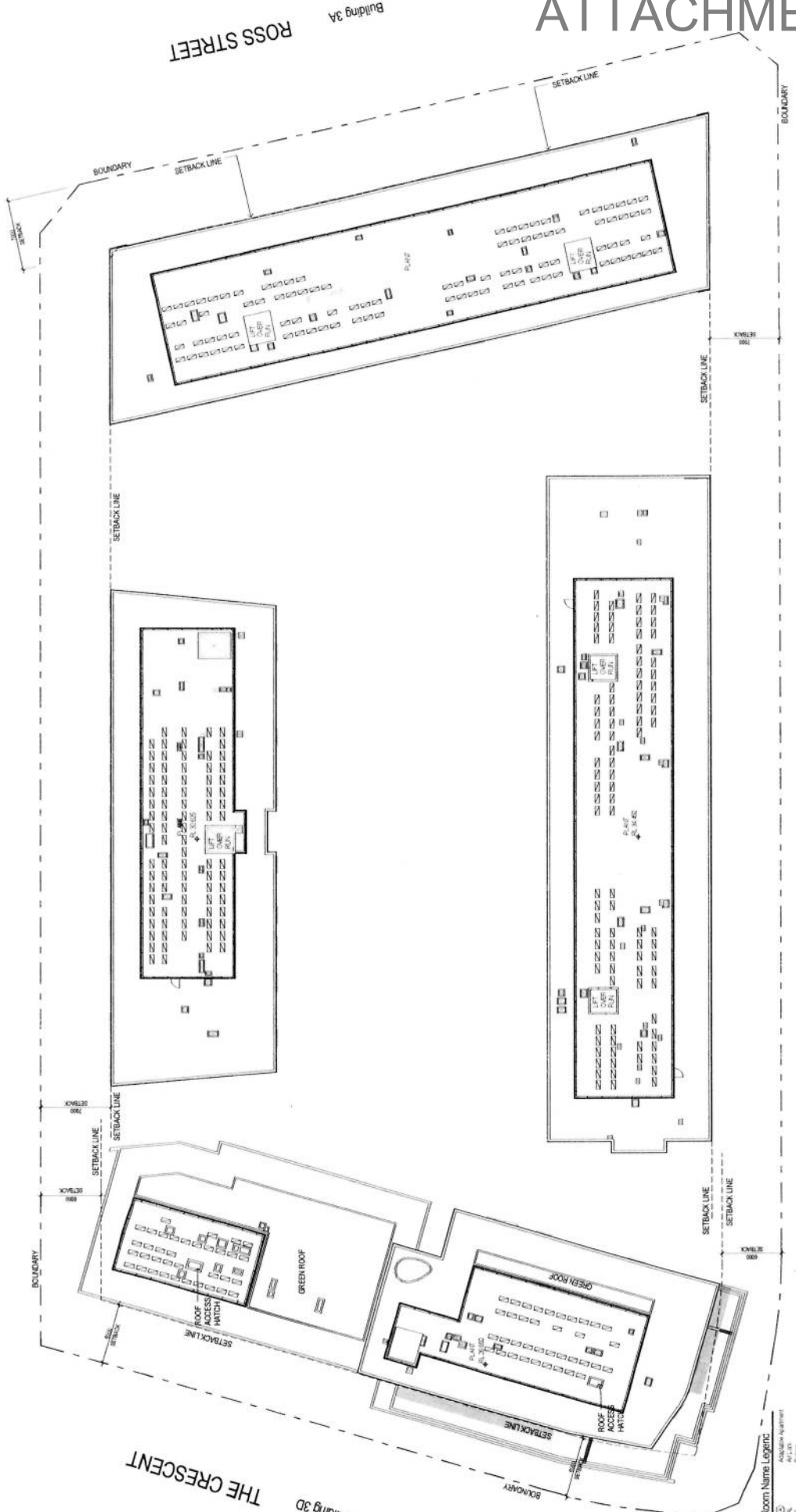
Room Name Legend

0	Acquisition Agreement
1	Block
2	Basement 1
3	Basement 2
4	Basement 3
5	Bathroom
6	Bedroom
7	Bedroom 2
8	Bedroom 3
9	Bedroom 4
10	Bedroom 5
11	Bedroom 6
12	Bedroom 7
13	Bedroom 8
14	Bedroom 9
15	Bedroom 10
16	Bedroom 11
17	Bedroom 12
18	Bedroom 13
19	Bedroom 14
20	Bedroom 15
21	Bedroom 16
22	Bedroom 17
23	Bedroom 18
24	Bedroom 19
25	Bedroom 20
26	Bedroom 21
27	Bedroom 22
28	Bedroom 23
29	Bedroom 24
30	Bedroom 25
31	Bedroom 26
32	Bedroom 27
33	Bedroom 28
34	Bedroom 29
35	Bedroom 30
36	Bedroom 31
37	Bedroom 32
38	Bedroom 33
39	Bedroom 34
40	Bedroom 35
41	Bedroom 36
42	Bedroom 37
43	Bedroom 38
44	Bedroom 39
45	Bedroom 40
46	Bedroom 41
47	Bedroom 42
48	Bedroom 43
49	Bedroom 44
50	Bedroom 45
51	Bedroom 46
52	Bedroom 47
53	Bedroom 48
54	Bedroom 49
55	Bedroom 50
56	Bedroom 51
57	Bedroom 52
58	Bedroom 53
59	Bedroom 54
60	Bedroom 55
61	Bedroom 56
62	Bedroom 57
63	Bedroom 58
64	Bedroom 59
65	Bedroom 60
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67	Bedroom 62
68	Bedroom 63
69	Bedroom 64
70	Bedroom 65
71	Bedroom 66
72	Bedroom 67
73	Bedroom 68
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77	Bedroom 72
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79	Bedroom 74
80	Bedroom 75
81	Bedroom 76
82	Bedroom 77
83	Bedroom 78
84	Bedroom 79
85	Bedroom 80
86	Bedroom 81
87	Bedroom 82
88	Bedroom 83
89	Bedroom 84
90	Bedroom 85
91	Bedroom 86
92	Bedroom 87
93	Bedroom 88
94	Bedroom 89
95	Bedroom 90
96	Bedroom 91
97	Bedroom 92
98	Bedroom 93
99	Bedroom 94
100	Bedroom 95

project: **Harold Park Precinct 3**  
 GHDW NSW  
 Architect: **Mirvac Design**  
 Eeles T-Release  
 Drawing: **Floor Plan - Level 8**

Building 3D  
 THE CRESCENT

# ATTACHMENT A



Building 3B CULLEN CLOSE

Building 3C SCOTSMAN STREET

Building 3A THE CRESCENT

**NOTES:**

1. REFER TO ARCHITECTURAL DRAWINGS FOR ROOM SCHEDULES AND FINISHES.
2. THIS DRAWING IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE ARCHITECT.
3. THE ARCHITECT HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS NOTED THE FOLLOWING:
4. THE ARCHITECT HAS NOT CONDUCTED A STRUCTURAL ANALYSIS OF THE BUILDING.
5. THE ARCHITECT HAS NOT CONDUCTED A MECHANICAL ANALYSIS OF THE BUILDING.
6. THE ARCHITECT HAS NOT CONDUCTED A ELECTRICAL ANALYSIS OF THE BUILDING.
7. THE ARCHITECT HAS NOT CONDUCTED A PLUMBING ANALYSIS OF THE BUILDING.
8. THE ARCHITECT HAS NOT CONDUCTED A FIRE ANALYSIS OF THE BUILDING.
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10. THE ARCHITECT HAS NOT CONDUCTED A SECURITY ANALYSIS OF THE BUILDING.
11. THE ARCHITECT HAS NOT CONDUCTED A SUSTAINABILITY ANALYSIS OF THE BUILDING.
12. THE ARCHITECT HAS NOT CONDUCTED A SOCIAL ANALYSIS OF THE BUILDING.
13. THE ARCHITECT HAS NOT CONDUCTED A CULTURAL ANALYSIS OF THE BUILDING.
14. THE ARCHITECT HAS NOT CONDUCTED A HISTORICAL ANALYSIS OF THE BUILDING.
15. THE ARCHITECT HAS NOT CONDUCTED A LEGAL ANALYSIS OF THE BUILDING.
16. THE ARCHITECT HAS NOT CONDUCTED A FINANCIAL ANALYSIS OF THE BUILDING.
17. THE ARCHITECT HAS NOT CONDUCTED A MARKET ANALYSIS OF THE BUILDING.
18. THE ARCHITECT HAS NOT CONDUCTED A RISK ANALYSIS OF THE BUILDING.
19. THE ARCHITECT HAS NOT CONDUCTED A COMPLIANCE ANALYSIS OF THE BUILDING.
20. THE ARCHITECT HAS NOT CONDUCTED A BEST PRACTICE ANALYSIS OF THE BUILDING.

**Room Name Legend**

Room Name	Legend
Roof 1	(Symbol)
Roof 2	(Symbol)
Roof 3	(Symbol)
Roof 4	(Symbol)
Roof 5	(Symbol)
Roof 6	(Symbol)
Roof 7	(Symbol)
Roof 8	(Symbol)
Roof 9	(Symbol)
Roof 10	(Symbol)
Roof 11	(Symbol)
Roof 12	(Symbol)
Roof 13	(Symbol)
Roof 14	(Symbol)
Roof 15	(Symbol)
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Roof 18	(Symbol)
Roof 19	(Symbol)
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Roof 100	(Symbol)

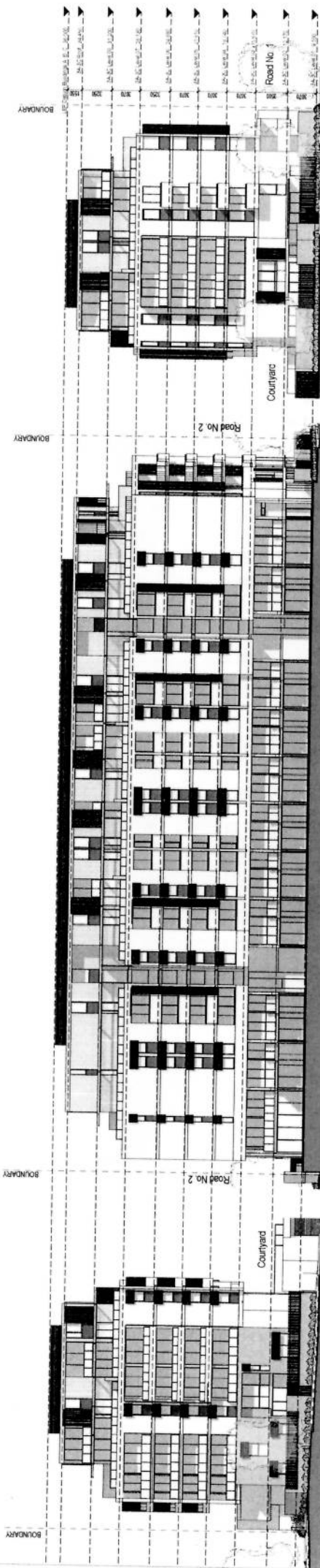
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**client:** Gabe NSW  
**architect:** Mirvac Design  
**scale:** 1:11.13  
**date:** 14.11.13  
**job no:** 1753  
**drawing no:** DA-F3-013  
**rev:** 2

**notes:**  
 1. THIS DRAWING IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE ARCHITECT.  
 2. THE ARCHITECT HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS NOTED THE FOLLOWING:  
 3. THE ARCHITECT HAS NOT CONDUCTED A STRUCTURAL ANALYSIS OF THE BUILDING.  
 4. THE ARCHITECT HAS NOT CONDUCTED A MECHANICAL ANALYSIS OF THE BUILDING.  
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**notes:**  
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 19. THE ARCHITECT HAS NOT CONDUCTED A COMPLIANCE ANALYSIS OF THE BUILDING.  
 20. THE ARCHITECT HAS NOT CONDUCTED A BEST PRACTICE ANALYSIS OF THE BUILDING.

## Floor Plan - Roof





3 Building A North West Elevation - Road No. 3  
1:200

1 Building A South West Elevation - Courtyard  
1:200

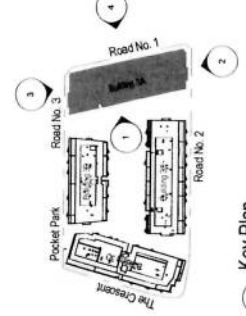
2 Building A South East Elevation - Road No. 2  
1:200



4 Building A North East Elevation - Road No. 1  
1:200

**NOTES: DA**

1. GENERAL INFORMATION
2. THE DRAWING IS FOR THE DA ONLY
3. THE DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES
4. THE DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES
5. THE DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES
6. THE DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES
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19. THE DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES
20. THE DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES



5 Key Plan  
Not to Scale

DATE: 08/11/13  
JOB NO: 1753  
SCALE: @ A1  
DRAWING NO: DA-P3-020  
REV: 2

project: **Harold Park Precinct 3**  
Glebe, NSW

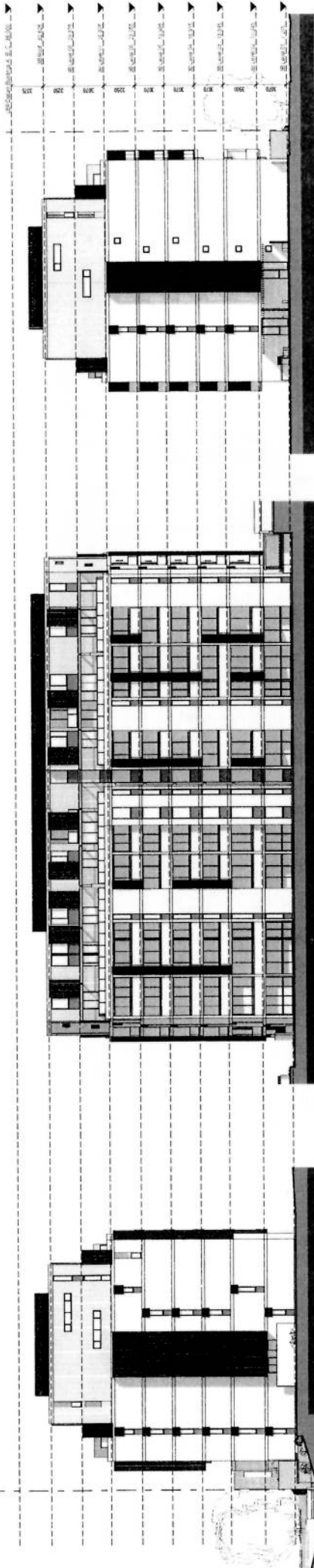
client: **mirvac**

architect: **mirvac**  
100/100 STATION ST  
GLEBE NSW 1530  
PH: 02 9550 9999  
WWW.MIRVAC.COM.AU

design: **Eeles Tresselt**  
100/100 STATION ST  
GLEBE NSW 1530  
PH: 02 9550 9999  
WWW.EEELSTRESSLETT.COM.AU

drawn: **Mirvac Design**  
100/100 STATION ST  
GLEBE NSW 1530  
PH: 02 9550 9999  
WWW.MIRVACDESIGN.COM.AU

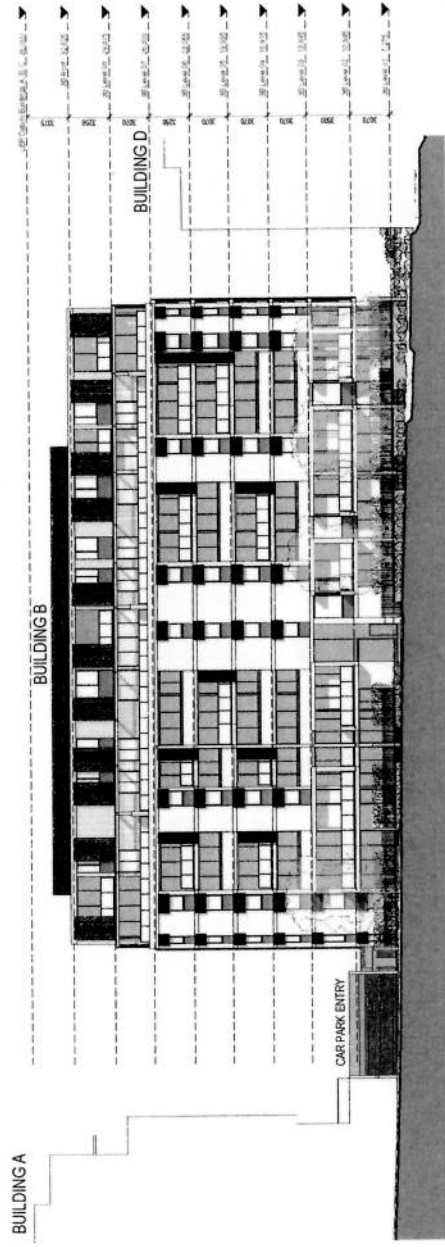
title: **Building A Elevations - Building A**



3 Building B South West Elevation  
1:200

1 Building B South East Elevation - Courtyard  
1:200

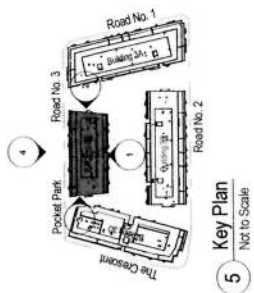
2 Building B North East Elevation  
Not to Scale



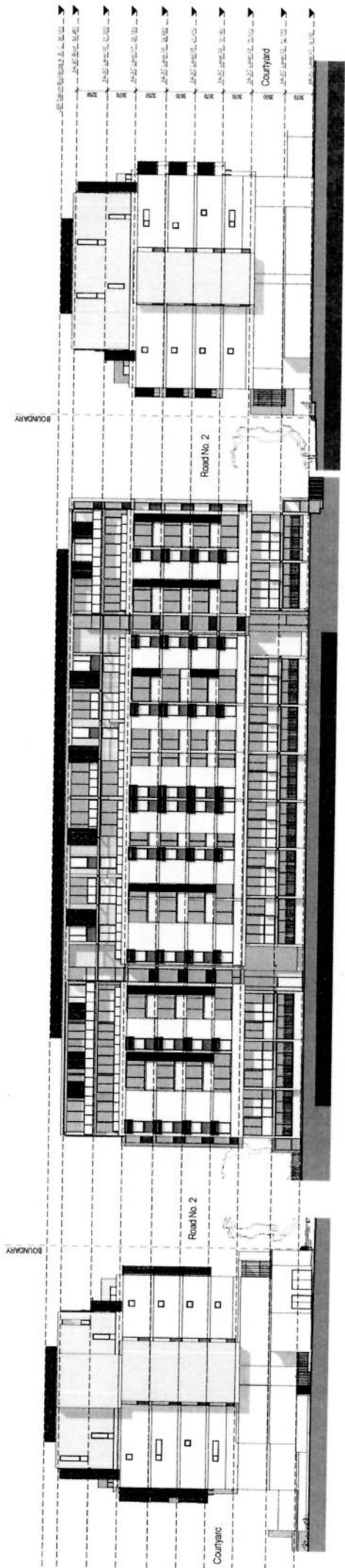
4 Building B North West Elevation - Road No. 3  
1:200

**NOTES:**

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING WORK SHOWN ON THESE PLANS.
3. THE ARCHITECT DOES NOT TAKE RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK SHOWN ON THESE PLANS.
4. THE ARCHITECT DOES NOT TAKE RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK SHOWN ON THESE PLANS.



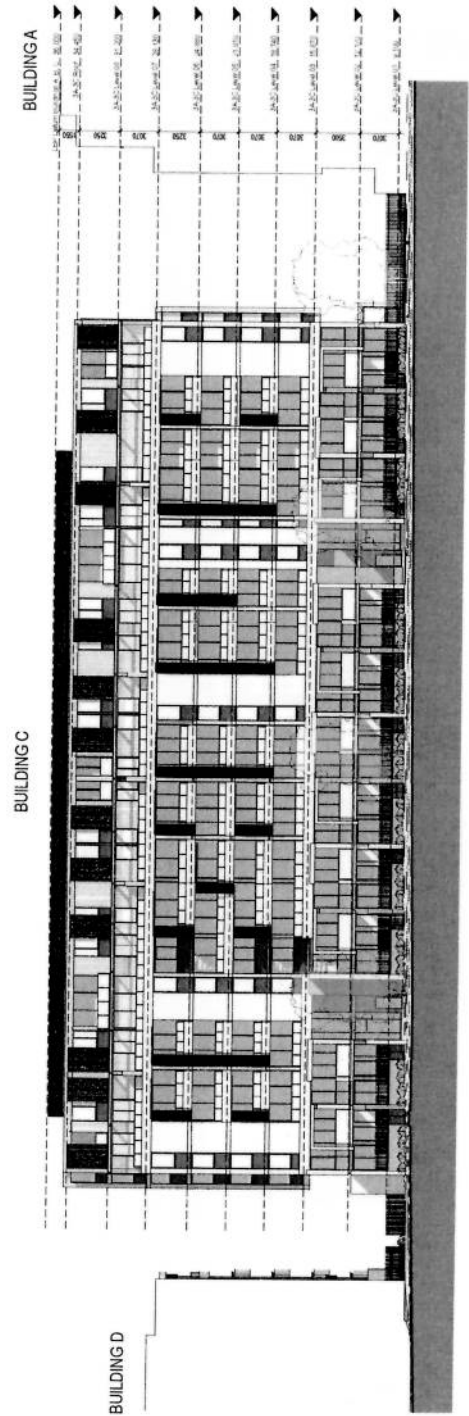
# ATTACHMENT A



1 Building C South West Elevation  
1:200

2 Building C North West Elevation - Courtyard  
1:200

3 Building C North East Elevation  
1:200



4 Building C South East Elevation - Road No. 2  
1:200

5 Key Plan  
Not to Scale

**NOTES: DA**

1. **GENERAL EXPLANATION**  
This drawing is part of the DA for the proposed development of the Harold Park Precinct 3, located at the intersection of Road No. 1 and Road No. 2, in the City of Gosford, NSW. The development consists of three buildings (Building A, Building C, and Building D) and a courtyard. The drawings show the elevations of the buildings and the courtyard. The drawings are to be used for the DA and are not to be used for construction purposes.
2. **GENERAL EXPLANATION**  
The drawings are to be used for the DA and are not to be used for construction purposes. The drawings are to be used for the DA and are not to be used for construction purposes.
3. **GENERAL EXPLANATION**  
The drawings are to be used for the DA and are not to be used for construction purposes. The drawings are to be used for the DA and are not to be used for construction purposes.
4. **GENERAL EXPLANATION**  
The drawings are to be used for the DA and are not to be used for construction purposes. The drawings are to be used for the DA and are not to be used for construction purposes.
5. **GENERAL EXPLANATION**  
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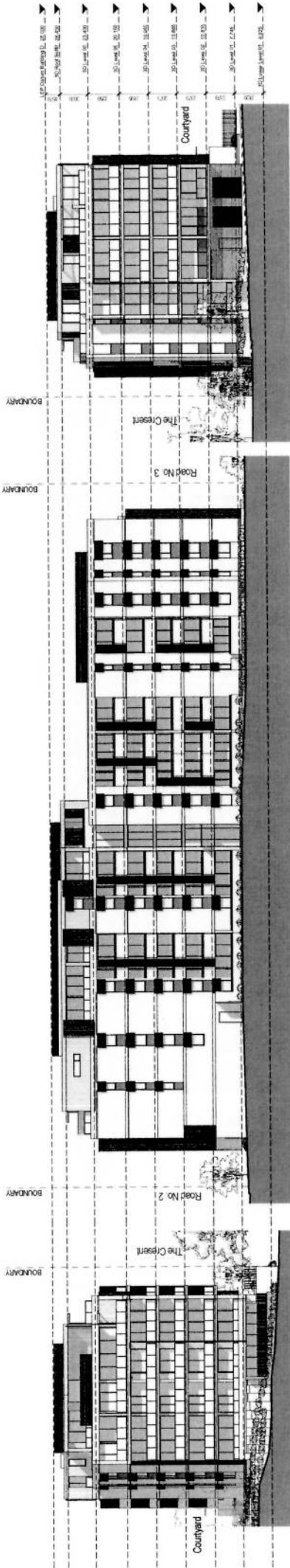
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 Date: 11/2023  
 Scale: 1:200  
 Job No: 1753  
 Date: 04.11.13  
 Scale: A1 - As notated  
 Drawing No: DA-P3-022  
 Rev: 2

**Project:** Harold Park Precinct 3  
**Client:** Glebe, NSW

**Architect:** Mirvac Design  
 Level 11, 111 George Street  
 Sydney, NSW 2000  
 Australia  
 Tel: +61 2 9230 4000  
 Fax: +61 2 9230 4001  
 Email: info@mirvac.com.au

**Client:** Mirvac  
**Architect:** Mirvac Design  
**Engineer:** Eeles Trollope  
**Builder:** Building C  
**Elevations - Building C**

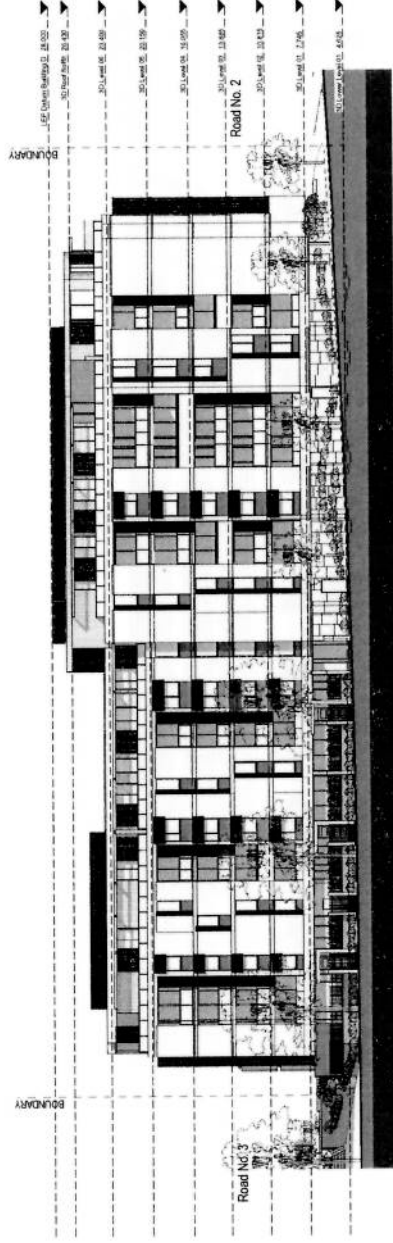
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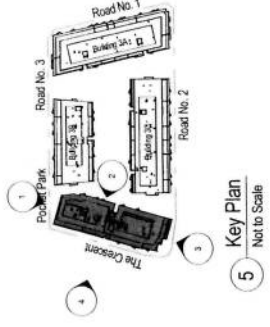
1 Building D North Elevation - Road No. 3  
1:200

2 Building D East Elevation - Courtyard  
1:200

3 Building D South Elevation - Road No. 2  
1:200



4 Building D West Elevation - The Crescent  
1:200



5 Key Plan  
Not to Scale

DATE	1
ISSUE	
REVISION	

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project  
**Harold Park Precinct 3**  
 Greater NSW

client  
**mirvac**

architect  
 MIRROR FIELDS ARCHITECTURE PRACTISE PTY LTD  
 LEVEL 20, 111 MARKET STREET, SYDNEY NSW 1592  
 111 MARKET STREET, SYDNEY NSW 1592

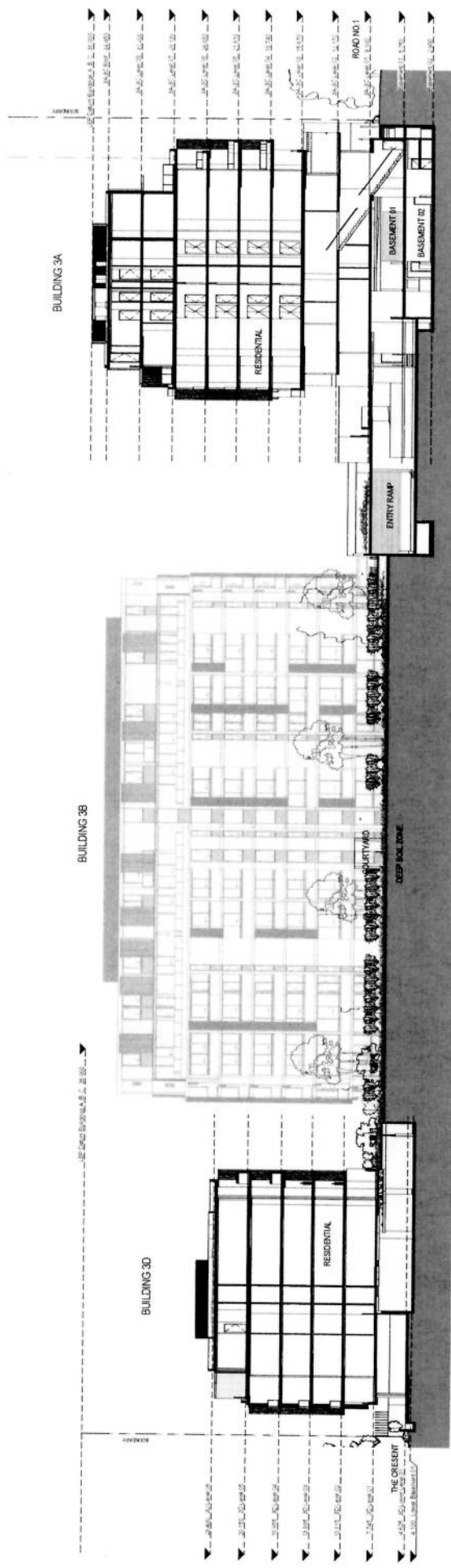
engineer  
**Mirvac Design**  
 111 MARKET STREET, SYDNEY NSW 1592

title  
**Elevations - Building D**

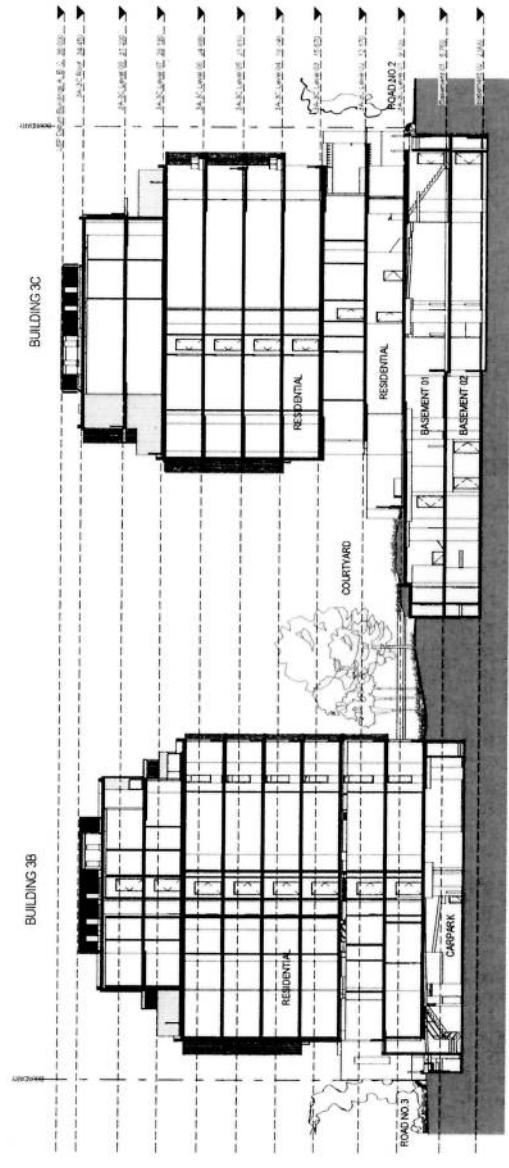
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scale: @ A1 As indicated  
 date: 04/11/13  
 job no: 1753

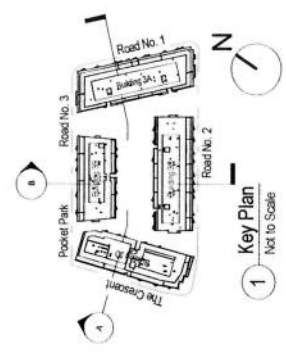
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3 Section A  
1:200



2 SECTION B  
1:200



DATE: 04.11.13  
JOB NO: 1753  
SCALE: A1 - As Issued  
DRAWING NO: DA-P3-025  
REV: 2

Section - A & B

Eslet's Release  
Mirvac Design  
Mirvac

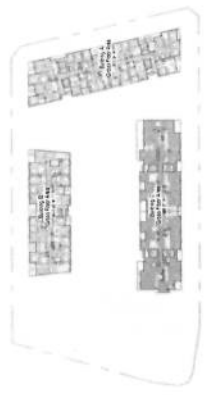
Harold Park Precinct 3  
Glebe NSW

Project: Harold Park Precinct 3  
Client: NSW  
Architect: Eslet's Release  
Designer: Mirvac Design  
Structural Engineer: Mirvac

**NOTES:**  
1. GENERAL INFORMATION  
2. FOUNDATION  
3. STRUCTURAL INFORMATION  
4. FINISHES  
5. SERVICES  
6. OTHER INFORMATION

FILE: 00-02-0-0000-00  
DATE: 04.11.13  
JOB NO: 1753  
SCALE: A1 - As Issued  
DRAWING NO: DA-P3-025  
REV: 2

# ATTACHMENT A

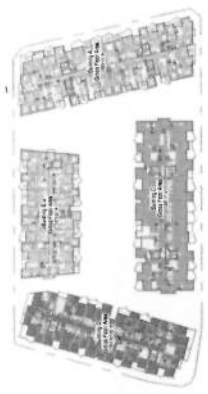


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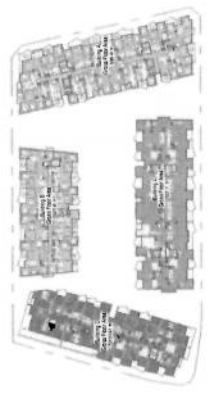
Area Schedule (GFA)	
Name	Area
Building A	8984 m <sup>2</sup>
Building B	6599 m <sup>2</sup>
Building C	8647 m <sup>2</sup>
Building D	5981 m <sup>2</sup>
Grand total	30211 m <sup>2</sup>

**GFA Legend**

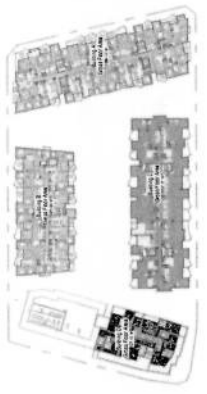
- Building A
- Building B
- Building C
- Building D



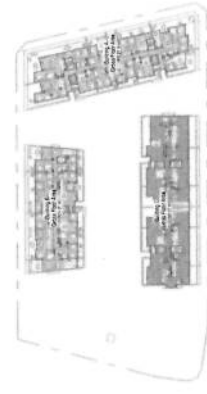
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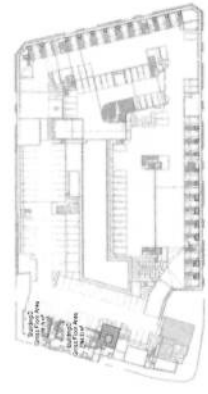
6 Level 05  
1:1000



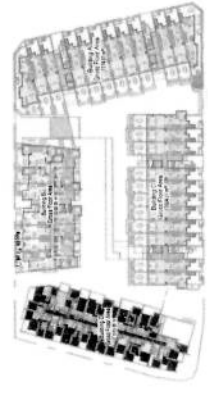
7 Level 06  
1:1000



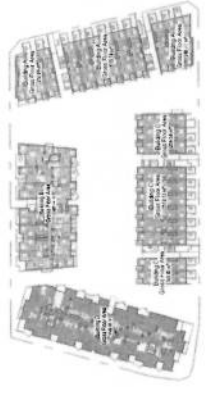
8 Level 07  
1:1000



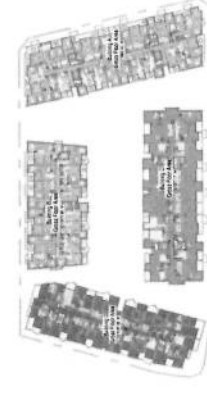
1 Lower Ground  
1:1000



2 Level 01  
1:1000



3 Level 02  
1:1000

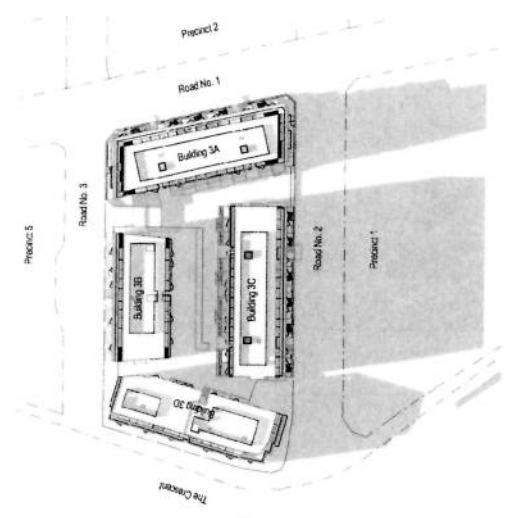


4 Level 03  
1:1000

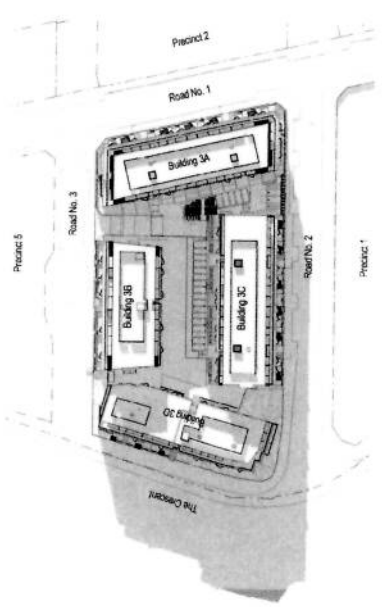
**NOTES: DA**

1. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE AN OFFER OF ANY FINANCIAL PRODUCT OR SERVICE.
2. THE INFORMATION CONTAINED HEREIN IS SUBJECT TO CHANGE WITHOUT NOTICE AND IS NOT GUARANTEED.
3. THE INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE USED AS A BASIS FOR INVESTMENT DECISIONS.
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6. THE INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE USED AS A BASIS FOR INVESTMENT DECISIONS.
7. THE INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE USED AS A BASIS FOR INVESTMENT DECISIONS.
8. THE INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE USED AS A BASIS FOR INVESTMENT DECISIONS.
9. THE INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE USED AS A BASIS FOR INVESTMENT DECISIONS.
10. THE INFORMATION CONTAINED HEREIN IS NOT INTENDED TO BE USED AS A BASIS FOR INVESTMENT DECISIONS.

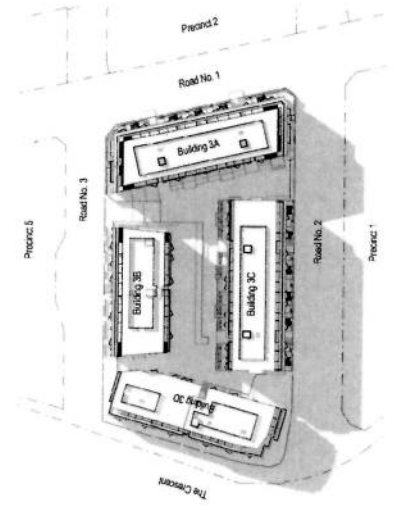
# ATTACHMENT A



3 Shadows June 21 3pm  
1:1000



1 Shadows June 21 9am  
1:1000

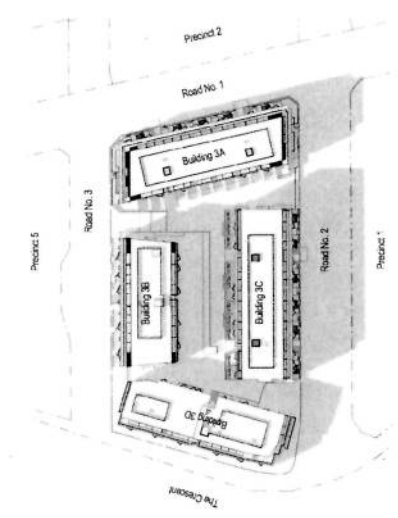


2 Shadows June 21 12pm  
1:1000

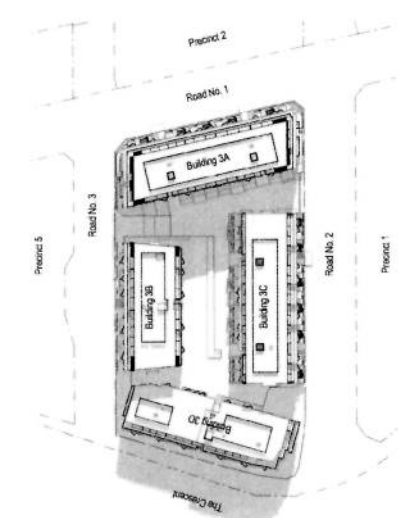
**BERS PRO**  
 All property info...  
 All building info...  
 Account Number: 1000000000  
 Project: 1000000000

NO. 1	DATE	DESCRIPTION
1	20/02/2013	ISSUED FOR INFORMATION
2		
3		
4		
5		
6		
7		
8		
9		
10		

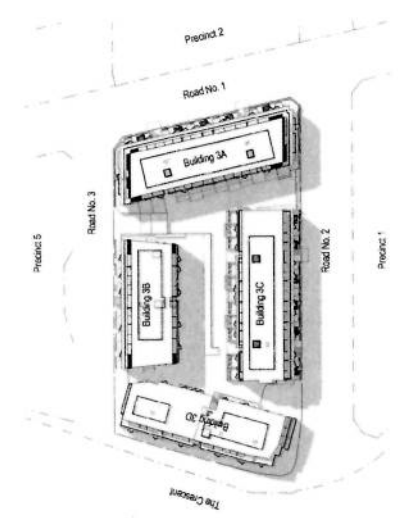
# ATTACHMENT A



3 Shadows March 20 3pm  
1 : 1000



1 Shadows March 20 9am  
1 : 1000



2 Shadows March 20 12pm  
1 : 1000

**BERS Pro**  
 BERS PRO  
 1. High quality design  
 2. High quality materials  
 3. High quality construction  
 4. High quality service  
 5. High quality price  
 6. High quality reputation  
 7. High quality results  
 8. High quality customer service  
 9. High quality support  
 10. High quality warranty

Scale: 1:1000  
 Date: 14th Feb 2013  
 Job No: 17253  
 Drawing No: DA-P3-041  
 Rev: 1

Shadows - Equinox - 20  
 March

Ecoles Treloose  
 Mirvac Design

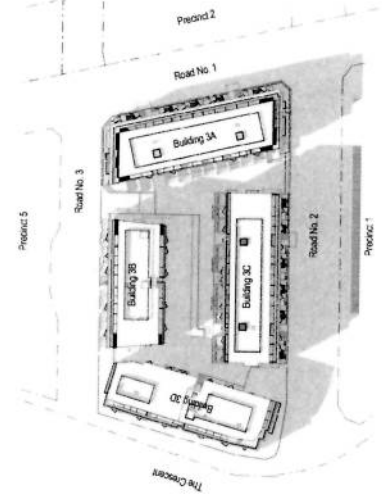
mirvac

Harold Park Precinct 3

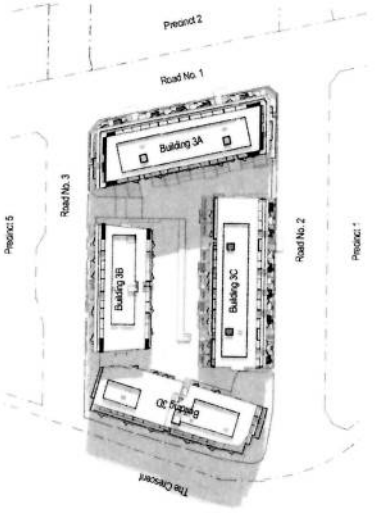
Project: Harold Park Precinct 3  
 Client: Harold Park Precinct 3  
 Date: 14th Feb 2013  
 Job No: 17253  
 Drawing No: DA-P3-041  
 Rev: 1

**NOTES:**  
 1. All dimensions are in meters unless otherwise stated.  
 2. All dimensions are to the centerline of the road unless otherwise stated.  
 3. All dimensions are to the centerline of the building unless otherwise stated.  
 4. All dimensions are to the centerline of the site unless otherwise stated.  
 5. All dimensions are to the centerline of the precinct unless otherwise stated.  
 6. All dimensions are to the centerline of the precinct unless otherwise stated.  
 7. All dimensions are to the centerline of the precinct unless otherwise stated.  
 8. All dimensions are to the centerline of the precinct unless otherwise stated.  
 9. All dimensions are to the centerline of the precinct unless otherwise stated.  
 10. All dimensions are to the centerline of the precinct unless otherwise stated.

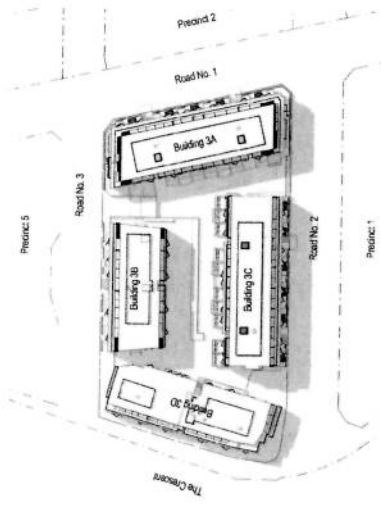




3 Shadows September 23 3pm  
1 : 1000



1 Shadows September 23 9am  
1 : 1000



2 Shadows September 23 12pm  
1 : 1000

**BERS Pro**  
 1000 Highway 100, Suite 100  
 Adelaide, SA 5000  
 Tel: (08) 8333 1000  
 Fax: (08) 8333 1001  
 Email: info@berspro.com.au  
 Website: www.berspro.com.au

Scale: 1:1000  
 Date: 17/05/13  
 Drawing No: DA-P3-042  
 Rev: 1

Project: Harold Park Precinct 3  
 Client: Mirvac  
 Design: Mirvac Design  
 Engineer: Ecolis Trelease  
 Date: 17/05/13

Project: Harold Park Precinct 3  
 Client: Mirvac  
 Design: Mirvac Design  
 Engineer: Ecolis Trelease  
 Date: 17/05/13

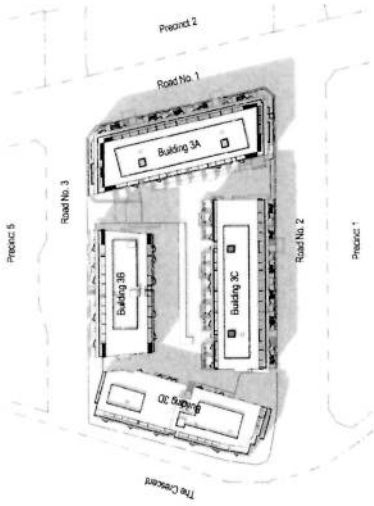


Project: Harold Park Precinct 3  
 Client: Mirvac  
 Design: Mirvac Design  
 Engineer: Ecolis Trelease  
 Date: 17/05/13

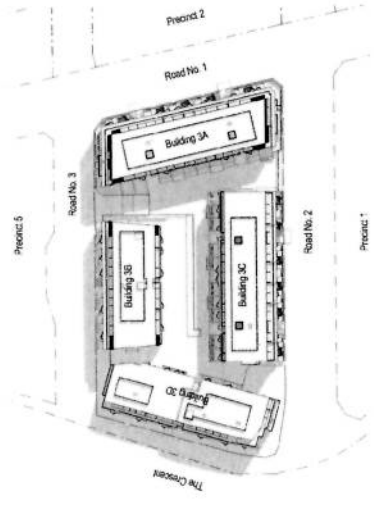
**NOTES**  
 1. SHADOWS  
 2. SHADOWS  
 3. SHADOWS  
 4. SHADOWS  
 5. SHADOWS

17/05/13 11:28:58 AM  
 Project: Harold Park Precinct 3  
 Client: Mirvac  
 Design: Mirvac Design  
 Engineer: Ecolis Trelease  
 Date: 17/05/13

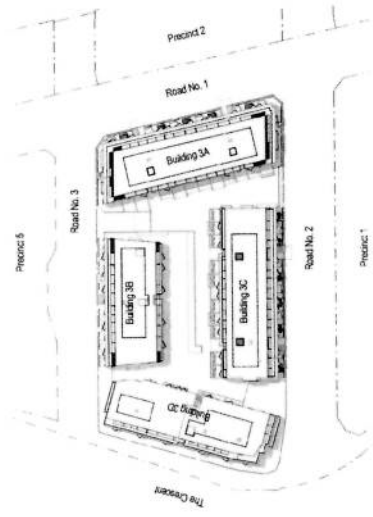
# ATTACHMENT A



3 Shadows December 22 3pm  
1 : 1000



1 Shadows December 22 9am  
1 : 1000



2 Shadows December 22 12pm  
1 : 1000

**BERS Pro**  
 1000 Lakeside Drive  
 Suite 100  
 North York, Ontario M2H 3C3  
 Tel: (416) 491-1111  
 Fax: (416) 491-1112  
 Website: www.berspro.com

Scale 1:1000  
 Date: Feb 2013  
 Drawing No: DA-P3-043  
 Rev: 1

Client: **Harold Park Precinct 3**

Project: **Shadows - Summer Solstice - 22 Dec**

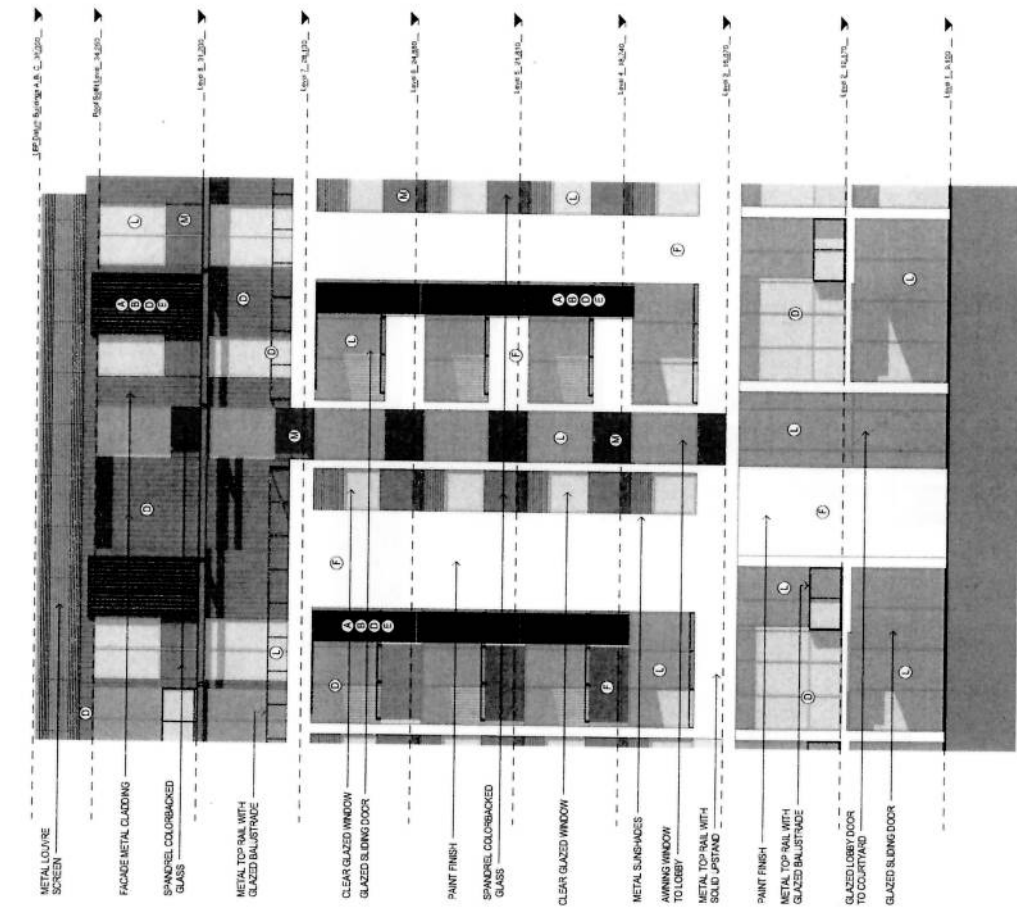
Architect: **Mirvac Design**

Client: **MIRVAC**

Project: **Harold Park Precinct 3**

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	15/02/2013
2	ISSUED FOR PERMIT	15/02/2013
3	ISSUED FOR PERMIT	15/02/2013
4	ISSUED FOR PERMIT	15/02/2013
5	ISSUED FOR PERMIT	15/02/2013

Project: Harold Park Precinct 3  
 Drawing No: DA-P3-043  
 Rev: 1

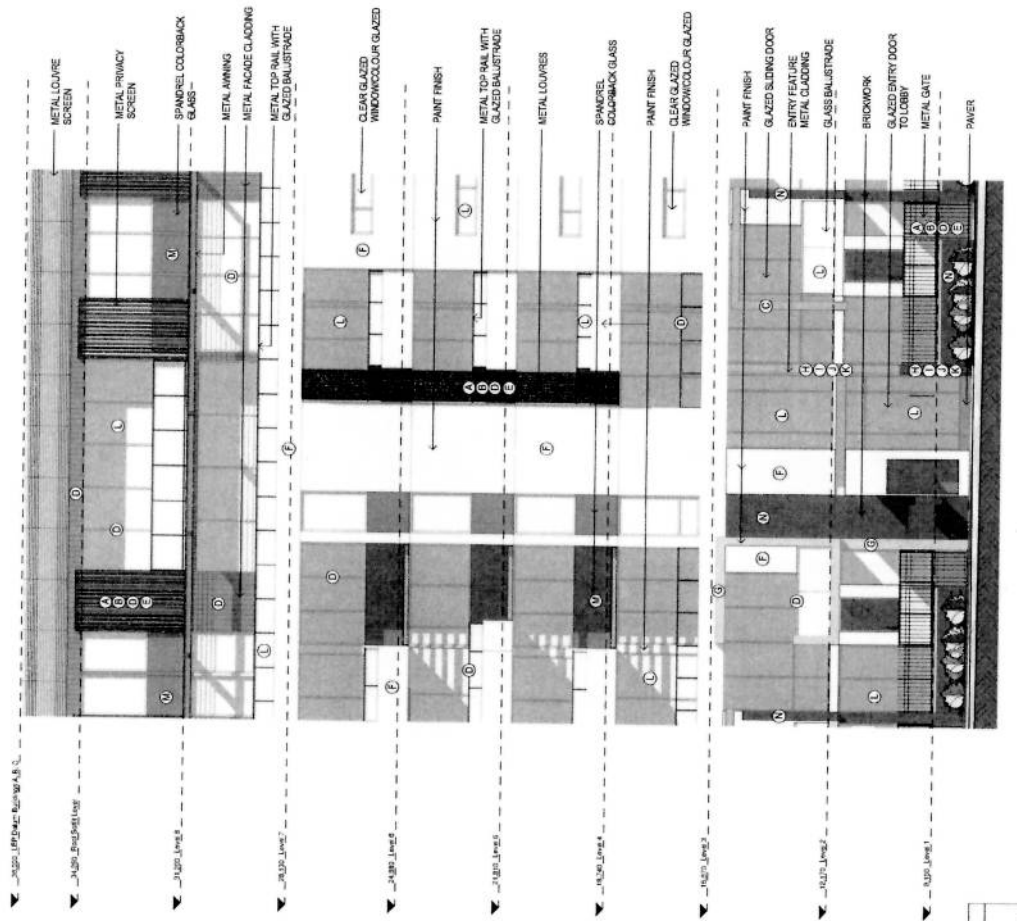


2 Facade Detail - Building A South West Elevation  
1:75

**LEGEND:**

**FAÇADE WALL MATERIAL TYPES**

A	Metal Panel Finish	E	Metal Panel Finish	I	Entry Feature Metal Cladding	M	Spandrel Glass
B	Metal Panel Finish	F	Entry Feature Glass Type 1	J	Entry Feature Glass Cladding	N	Frameless Glass
C	Metal Panel Finish	G	Entry Feature Glass Type 2	K	Entry Feature Glass Cladding	O	Neutral Stone Panel
D	Metal Panel Finish	H	Entry Feature Metal Cladding	L	Clear Glass	P	Neutral Stone Cladding



1 Facade Detail - Building A North East Elevation  
1:75

**BERS PRO**  
 Home Energy Rating Services  
 High-Performance Rater  
 Multifamily Residential Energy Rater  
 Accreditation Number: 102020303001001  
 Signature: [Signature] Date: 02/02/2013

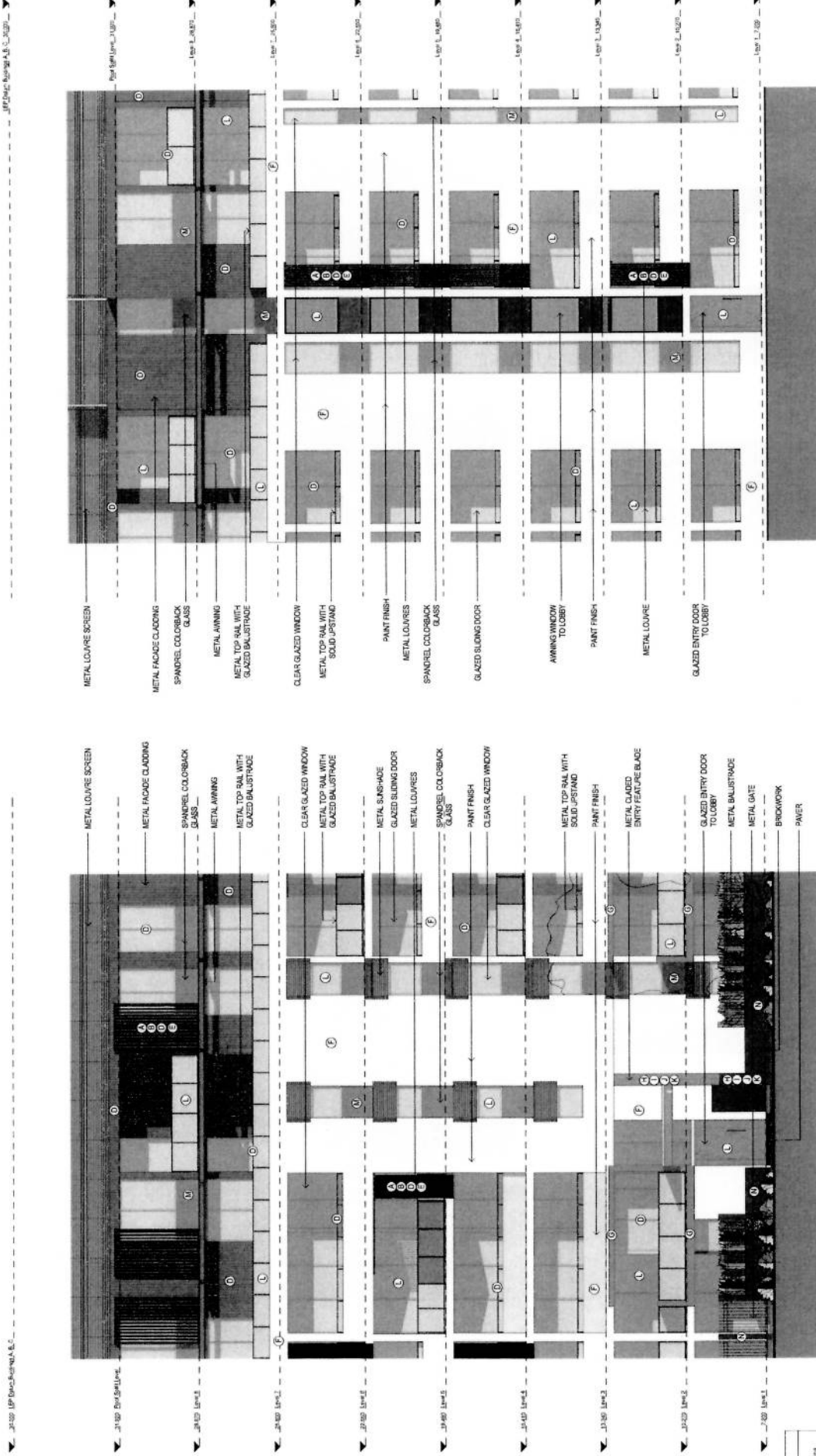
**NOTES:**

1. GENERAL CONTRACTOR TO VERIFY ALL MATERIALS AND FINISHES ARE AS SHOWN ON THESE DRAWINGS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE APPROPRIATE AGENCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE APPROPRIATE AGENCIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE APPROPRIATE AGENCIES.

**MIRVAC**  
 Harold Park Precinct 3  
 Mirvac Design  
 Project: Harold Park Precinct 3  
 Client: Mirvac  
 Architect: Mirvac Design  
 Date: 12/12/12

**Esites** **Trilease** **any to extensive**

Scale: 1:75  
 Date: 12/12/12  
 Scale @ A1: As indicated  
 Drawing No: DA-P3-055  
 Rev: 1



1 Facade Detail - Building B North West Elevation  
1:75

2 Facade Detail - Building B South East Elevation  
1:75

**LEGEND:**  
**FAÇADE WALL MATERIAL TYPES**

<b>A</b> METAL PART/FINISH	<b>E</b> METAL PART/FINISH	<b>I</b> ENTRY/FACADE AWNING CLADDING	<b>M</b> SPANDREL PAINT
<b>B</b> MHP PART/FINISH	<b>F</b> ENTRY/FACADE AWNING CLADDING	<b>J</b> ENTRY/FACADE AWNING CLADDING	<b>N</b> FINE METAL CLADDING
<b>C</b> METAL PART/FINISH	<b>G</b> LAMINATED GLASS	<b>K</b> ENTRY/FACADE AWNING CLADDING	<b>O</b> METAL SHOWER PANEL
<b>D</b> METAL PART/FINISH	<b>H</b> ENTRY/FACADE AWNING CLADDING	<b>L</b> COLE CLADDING	<b>P</b> METAL SHOWER CLADDING

**BERS Pro**  
 Engineering & Architecture  
 1000 West 10th Street, Suite 100  
 Vancouver, BC V6H 1T1  
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 Fax: 604.681.1112  
 www.berspro.com